

HoldenCopley

PREPARE TO BE MOVED

Albion Rise, Arnold, Nottinghamshire NG5 8EX

Offers Over £250,000 - £270,000

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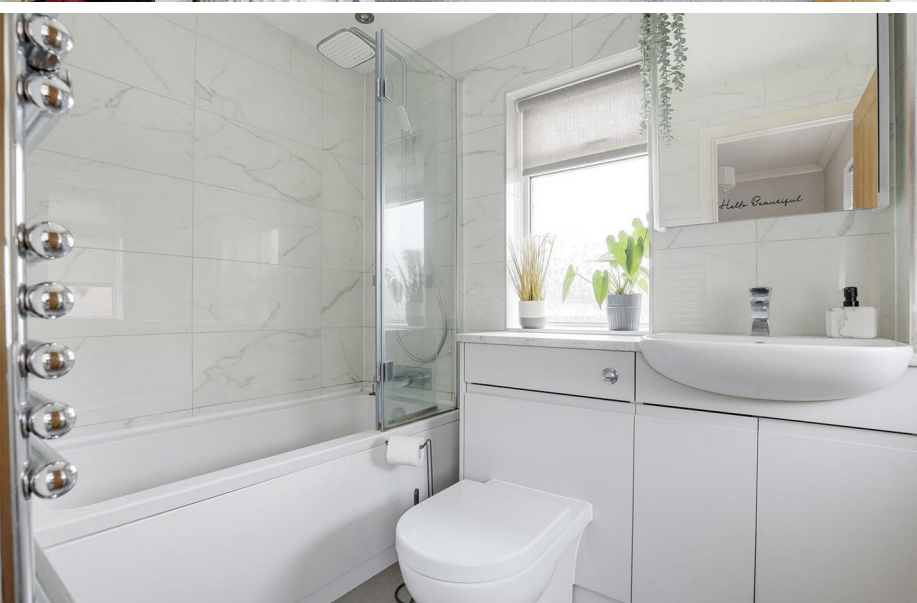
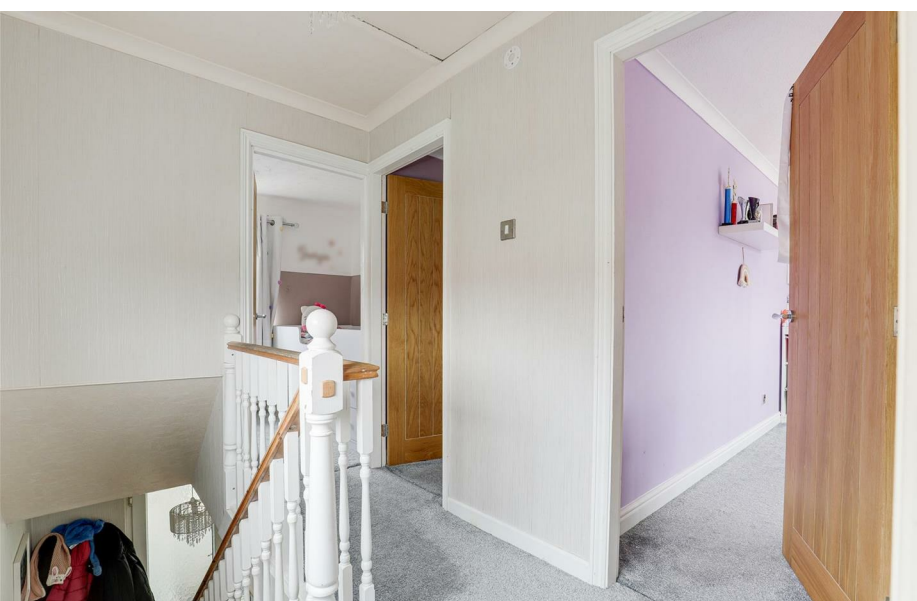
GUIDE PRICE £240,000 - £260,000

SEMI DETACHED HOUSE...

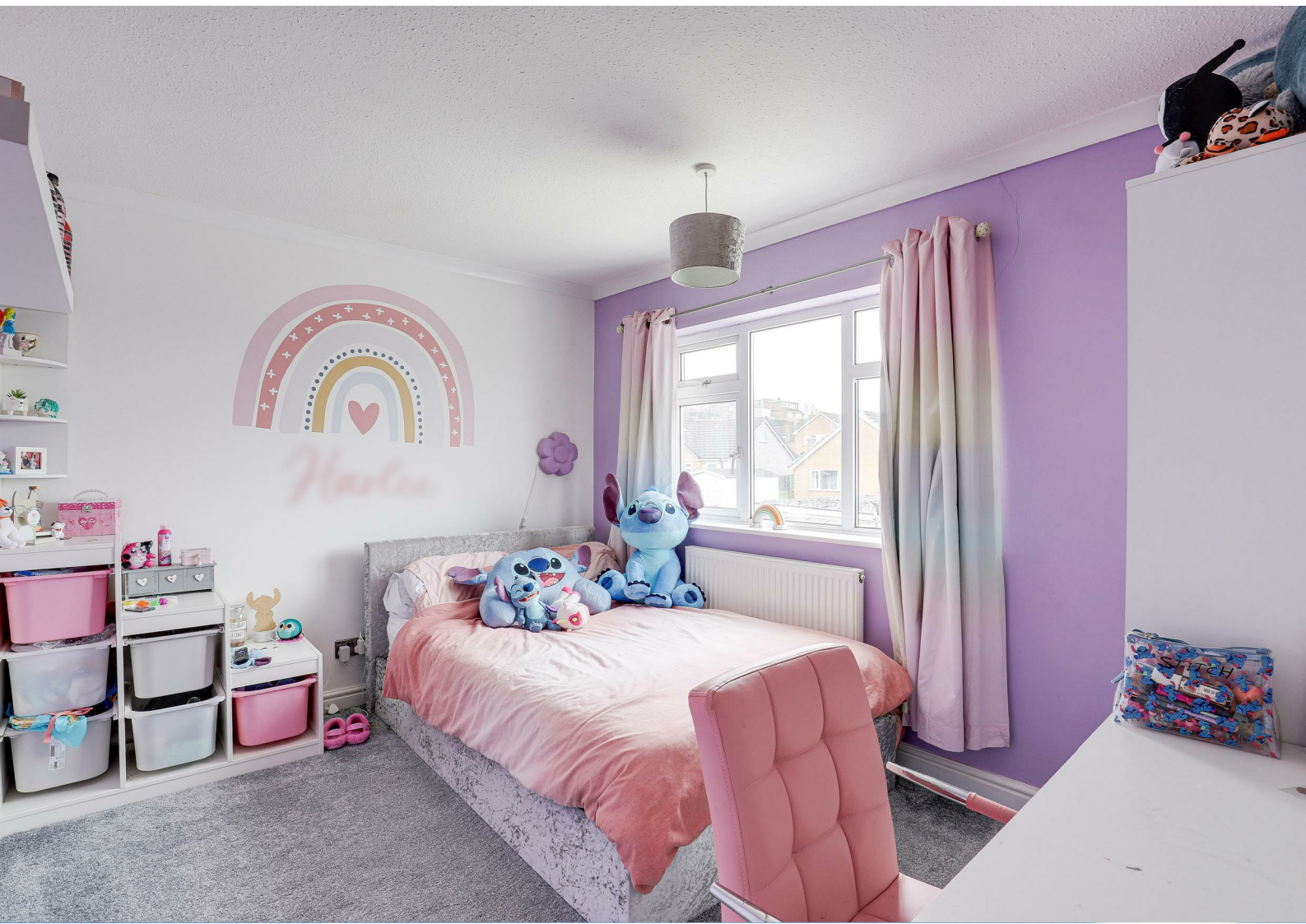
This well-presented three-bedroom semi-detached house is an ideal choice for first-time buyers or families looking for a home that offers both space and comfort. Well-presented throughout, the property is ready to move into immediately. It is located in a highly sought-after area, just a short distance from Arnold Town Centre, where residents can enjoy a variety of local amenities, including shops, restaurants, and excellent transport links providing easy access to the City Centre. Additionally, the property falls within the catchment area of well-regarded schools, such as Richard Bonington Primary School and The Redhill Academy, making it a perfect option for families with children. Upon entering the property, you are welcomed by a porch that leads into a spacious entrance hall. The ground floor features a generously sized living room, offering a comfortable space for relaxation. Adjacent to this is a modern fitted kitchen, complete with a stylish breakfast bar, providing a great space for casual dining. A bright and airy conservatory extends the living space. The first floor accommodates three bedrooms, all serviced by a contemporary three-piece bathroom suite. Externally, the property boasts a driveway at the front, providing convenient off-road parking. To the rear, there is a spacious, south-east facing garden, perfect for outdoor activities or entertaining guests. The garden also benefits from a garage and a shed, both equipped with working electrics, adding valuable storage and functionality to the outdoor space.

MUST BE VIEWED





- Semi-Detached House
- Three Bedrooms
- Spacious Living Room
- Fitted Kitchen
- Conservatory
- Three-Piece Bathroom Suite
- Driveway & Large Single Garage
- South East Facing Garden
- Popular Location
- Must Be Viewed





GROUND FLOOR

Porch

Entrance

Living Room

13'1" x 10'11" (3.99m x 3.33m)

Kitchen

19'6" x 8'11" (5.95m x 2.72m)

Conservatory

17'5" x 10'4" (5.31m x 3.15m)

FIRST FLOOR

Landing

Bedroom 1

13'0" x 12'7" (3.98m x 3.85m)

Bedroom 2

13'0" x 8'11" (3.97m x 2.73m)

Bedroom 3

9'6" x 7'3" (2.92m x 2.22m)

Bathroom

7'8" x 5'4" (2.34m x 1.65m)

OUTSIDE

Front

To the front of the property is a low maintenance garden, courtesy lighting, a block paved driveway providing off road parking, and gated access to the rear garden.

Rear

To the rear of the property is a private enclosed garden with a patio area, a lawn, a range of plants and shrubs, a panelled fencing and access to a single garage.

Garage

The garage is located to the rear of the property and benefits from electrical points, and an up-and-over door proving access to the driveway.

ADDITIONAL INFORMATION

- Electricity – Mains Supply
- Water – Mains Supply
- Heating – Gas Central Heating – Connected to Mains Supply
- Septic Tank – No
- Broadband – Fibre
- Broadband Speed - Ultrafast Download Speed 1800Mbps and Upload Speed 220Mbps
- Phone Signal – Good coverage of Voice, 4G - Some coverage of 3G & 5G
- Sewage – Mains Supply
- Flood Risk – No flooding in the past 5 years
- Flood Defenses – No
- Non-Standard Construction – No
- Any Legal Restrictions – No
- Other Material Issues – No

DISCLAIMER

Council Tax Band Rating -Gedling Borough Council - Band B

This information was obtained through the directgov website.

HoldenCopley offer no guarantee as to the accuracy of this information, we advise you to make further checks to confirm you are satisfied before entering into any agreement to purchase.

The vendor has advised the following:

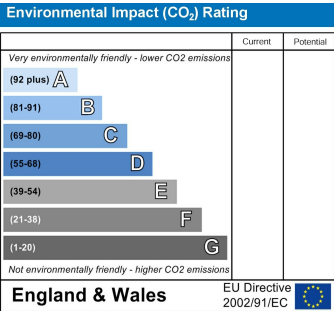
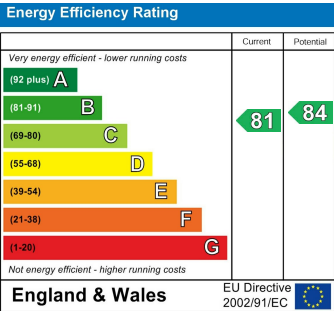
Property Tenure is Freehold

HoldenCopley offer no guarantee as to the accuracy of this information, we advise you to make further checks to confirm you are satisfied before entering into any agreement to purchase. The information will be confirmed by your solicitor via the management pack and Landlord pack where applicable. We strongly recommended that you contact your solicitor before entering into negotiations to confirm the accuracy of information.

Agents Disclaimer: HoldenCopley, their clients and employees I: Are not authorised to make or give any representations or warranties in relation to the property either here or elsewhere, either on their own behalf or on behalf of their client or otherwise. They assume no responsibility for any statement that may be made in these particulars. These particulars do not form part of any offer or contract and must not be relied upon as statements or representations of fact. 2: Any areas, measurements or distances are approximate. The text, photographs and plans are for guidance only and are not necessarily comprehensive. It should not be assumed that the property has all necessary planning, building regulation or other consents and HoldenCopley have not tested any services, equipment or facilities. Purchasers must make further investigations and inspections before entering into any agreement.

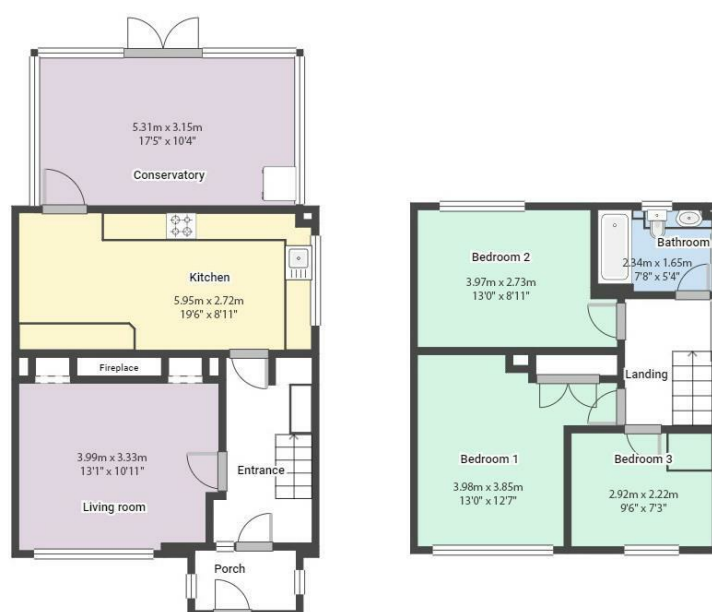
Purchaser information -The Money Laundering, Terrorist Financing and Transfer of Funds(Information on the Payer) Regulations 2017(MLR 2017) came into force on 26 June 2017. HoldenCopley require any successful purchasers proceeding with a property to provide two forms of identification i.e. passport or photocard driving license and a recent utility bill or bank statement. We are also required to obtain proof of funds and provide evidence of where the funds originated from. This evidence will be required prior to HoldenCopley removing a property from the market and instructing solicitors for your purchase.

Third Party Referral Arrangements - HoldenCopley have established professional relationships with third-party suppliers for the provision of services to Clients. As remuneration for this professional relationship, the agent receives referral commission from the third-party companies. Details are available upon request.



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FLOORPLAN IS FOR ILLUSTRATIVE PURPOSES ONLY

All measurements walls, doors, windows, fittings and appliances, their sizes and locations are an approximate only. They cannot be regarded as being a representation by the seller nor their agent and is for identification only. Not to scale.
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